



GARAGES & ACCESSORY BUILDINGS (OVER 200 SQUARE FEET IN FLOOR AREA)

This handout is written only as a guide; it is not intended nor shall it be considered a complete set of requirements. Information sheets are available at the City's website at IGHMN.gov.

CALL BEFORE YOU DIG. Contact Gopher State One Call at (651) 454-0002 or www.gopherstateonecall.org for protection against underground utility damage. Contact Gopher State One Call 48 hours before you intend to dig.

The current Minnesota State Building Code is available on the [Department of Labor and Industry website](#).

PERMIT SUBMITTAL CHECKLIST:

- Building Permit Application Form.
- Survey or Site Plan showing the following:
 - Lot size and all adjacent streets.
 - Location of existing building(s), proposed building, and known Easements. Indicate the setbacks from property lines of the existing and proposed structures, including septic system area and wells if applicable.
- Construction Plans to include:
 1. Floor Plan showing proposed design and materials. Plans need to be drawn to scale and should include:
 - Proposed size.
 - Location and size of window and door openings.
 - Size of headers over all doors and window openings.
 - Type of lumber to be used.
 2. Elevations should include the following:
 - Height of structure from grade.
 - Size and depth of footings.
 - Floor design and materials.
 - Wall and roof construction. If truss roof system is to be used, submit copy of stamped pre-engineered truss design from manufacturer.

Setbacks from property lines vary depending on the zoning layer that the property is located in. Contact the Planning Department at 651-450-2569 for further setback information.

GENERAL BUILDING CODE INFORMATION

FOOTINGS:

Call Gopher State One Call at 651-454-0002 at least 2 working days before you dig to verify utility locations.

Footings must extend below frost depth for all attached garages. Frost footings must be a minimum of 42" deep. A "Floating Slab" may be used for the foundation support of a detached garage on all soils except peat and muck. If a floating slab is used, sod and root structures must be removed and replaced with 4 inch sand fill. The perimeter of the slab must be thickened to a minimum vertical dimension of 12 inches below grade at the edge. The bottom of the thickened edge must be at least 12 inches wide and then may be sloped upward to meet the bottom of slab at a 45 degree angle. The minimum slab thickness must be 3 ½ inches. The minimum concrete strength required is 3500 pounds per square inch. In cold weather, protect concrete from freezing until cured.

ANCHOR BOLTS:

Foundation plates or sills must be bolted to the foundation with not less than ½ inch diameter steel bolts embedded at least 7 inches into the concrete and spaced not more than 6 feet apart. There must be a minimum of two bolts per piece with one bolt located within 12 inches of each end of each piece. Washers must be 2' minimum diameter and/or countersunk ¼".

SILL PLATE:

All foundation plates or sills and sleepers on a concrete or masonry slab, which is in direct contact with earth, and sills which rest on concrete or masonry foundations must be of approved treated wood, foundation cedar or redwood, having a width not less than that of the wall studs.

WALL FRAMING:

Studs must be placed with wide dimensions perpendicular to the wall, and not less than three studs must be installed at each corner of an exterior wall. Minimum stud size is 2 x 4 and spaced not more than 24 inches on center.

TOP PLATE:

Bearing and exterior wall studs need to be capped with double top plates installed to provide overlapping at corners and at intersections with other partitions. End joints in double top plates must be offset at least 24 inches.

SHEATHING, ROOFING AND SIDING:

Approved wall sheathing, siding, roof sheathing and roof coverings must be installed according to the manufacturer's specifications.

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WOOD AND EARTH SEPARATION:

Wood used in construction located closer than 6 inches to earth shall be treated wood or wood of a natural resistance to decay (cedar, redwood).

ROOF FRAMING:

Size and spacing of conventional lumber used for roof framing depends upon the roof pitch, span, the type of material being used, and the loading characteristics being imposed. Attached garages must be designed for the appropriate snow load. Detached garages need to be designed for a 35 pound per square foot snow load.

Rafters need to be framed directly opposite each other at the ridge. A ridge board at least 1 inch thick and not less in depth than the cut end of the rafter is required for hand framed roofs. At all valleys and hips, there also needs to be a single valley or hip rafter not less than 2 inches thick and not less in depth than the cut of the rafter.

Rafters must be nailed to the adjacent ceiling joist to form a continuous tie between exterior walls when the joists are parallel to the rafters. Where not parallel, rafters must be tied to a minimum 1 inch by 4 inch cross tie spaced a minimum 4 foot on center. If manufactured trusses are to be used, submit a copy of truss plans signed by a registered engineer.

WALL OPENING PROTECTION:

The common wall between attached garages and a dwelling must be fire rated on the garage side of the wall with ½ inch sheetrock run from the floor to the roof deck. Sheetrock joints must all be tight or must be taped. Doors through this wall must be 20 minute fire doors or 1 3/8 inch solid. There may not be any windows or openings in this wall.

NOTE: The above outlines only general code requirements regarding garage construction. For specific code requirements, please contact the Inspections Department at 651-450-2550 between 8am and 4:30pm M-F.

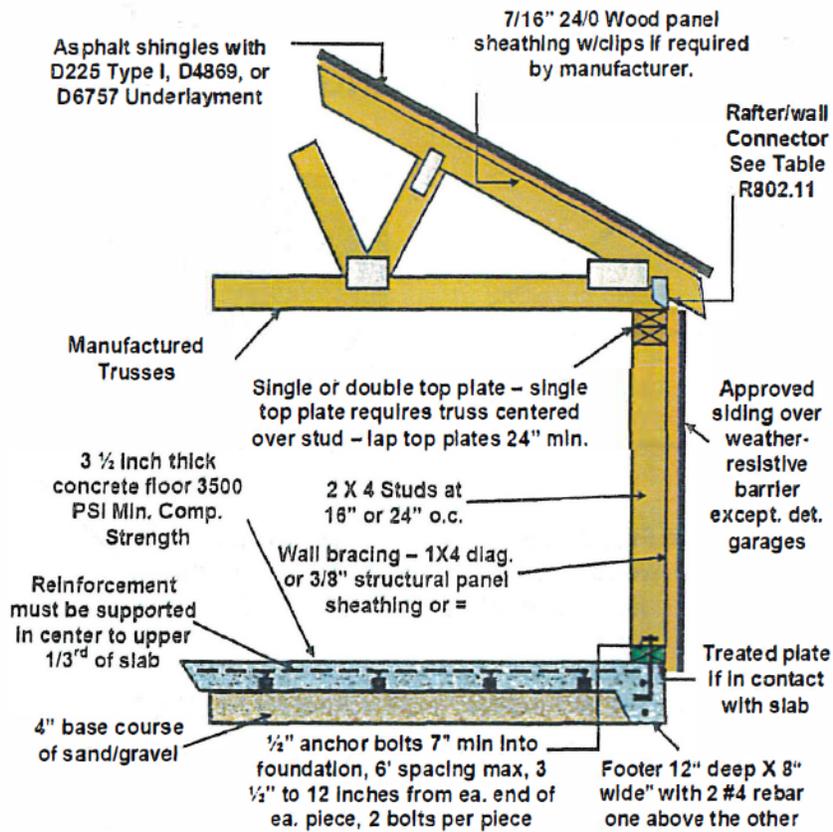
INSPECTIONS

It is the responsibility of the permit applicant to call the Inspections Department to arrange for the inspections. 24-hour advance notice is required. Inspections typically required for the construction of a garage are:

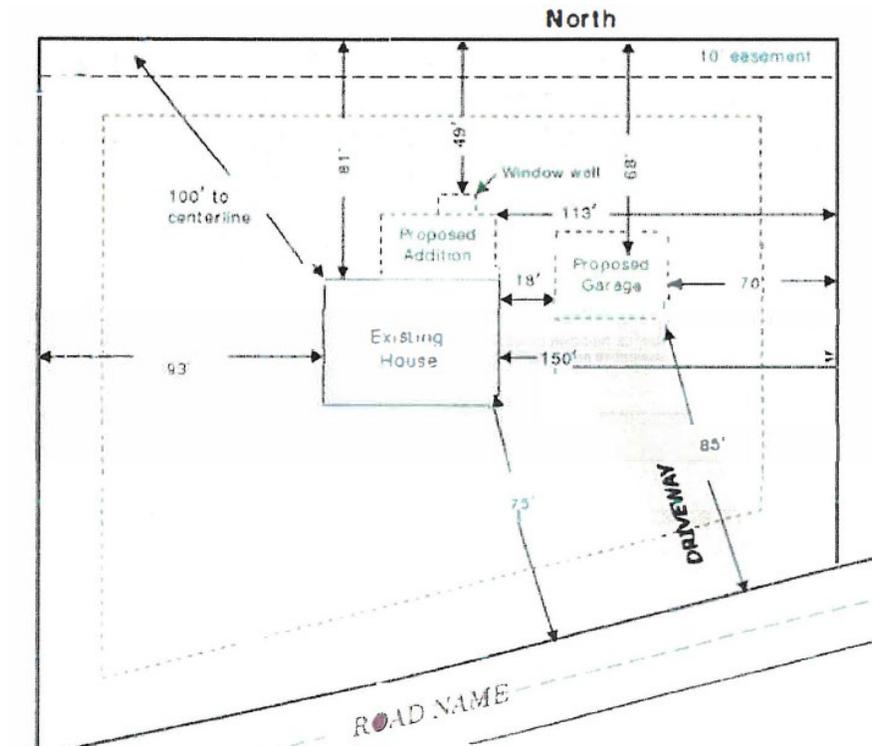
- **Footing and Foundation Inspections** (attached garages only) after form work is in place but prior to pouring concrete.
- **Slab Inspection** - To be made after all form work and reinforcing is in place but prior to the pouring of concrete.
- **Framing Inspection** - To be made after all framing and bracing is complete, rough electrical (if any) is approved, but prior to the application of siding or roofing.
- **Final Inspection** - To be made upon completion of the garage and grading is complete.

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SECTION VIEW EXAMPLE

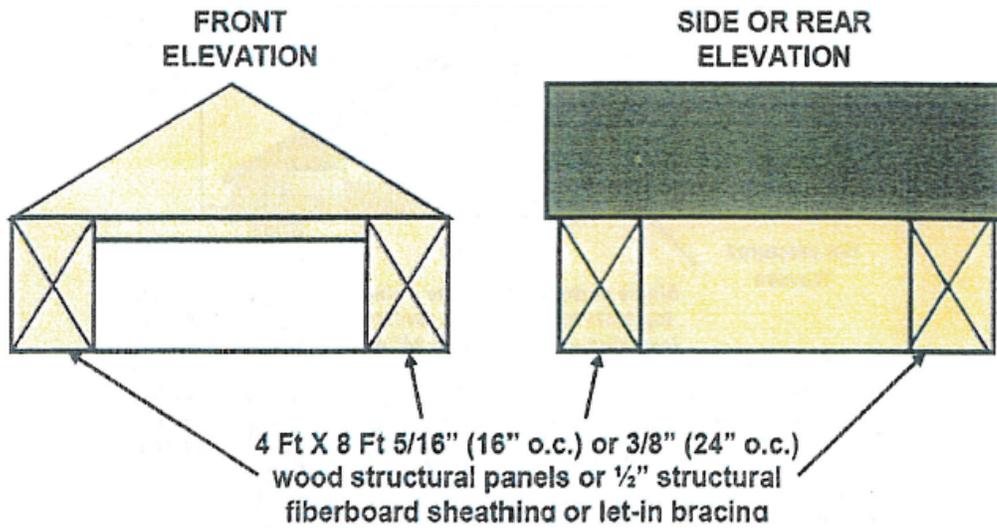


SITE PLAN EXAMPLE

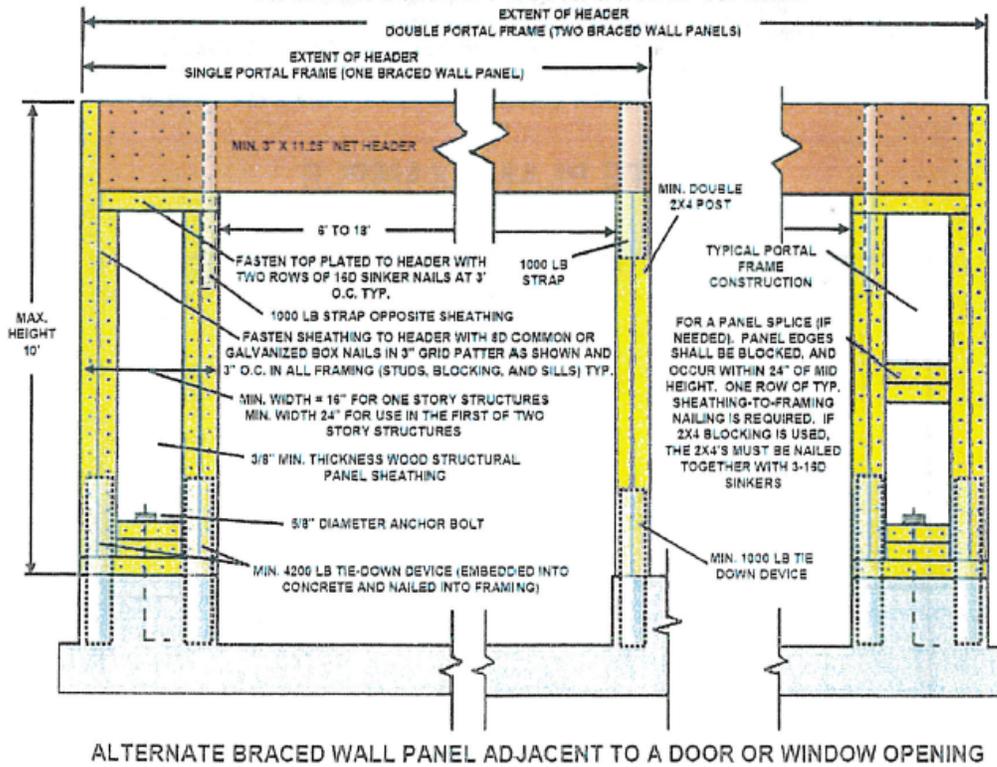


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WALL BRACING



WALL BRACING FOR NARROW WALLS





City of Inver Grove Heights
 Inspections Department
 8150 Barbara Avenue
 Inver Grove Heights, MN 55077
 phone: (651) 450-2550
 email: permits@ighmn.gov

PERMITS & INSPECTIONS

PERMIT APPLICATION

SITE ADDRESS _____

OWNERS NAME _____ Address _____ Phone _____

CONTRACTOR _____ Address _____

LICENSE NUMBER _____ Email _____ Phone _____

PROJECT MANAGER _____ Email _____ Phone _____

ARCHITECT / ENGINEER _____ Email _____

CLASS OF WORK NEW w/Finished Basement w/Deck ADDITION ALTERATION/REMODEL RETAINING WALL

DESCRIBE WORK _____

USE OF BUILDING Single Family Single Family Attached Multi Family Business Educational Government

CONSTRUCTION DATA:

Setbacks: Front _____ Right Side _____ Left Side _____ Rear _____

Structure Height: _____

Square Feet: Basement _____ 1st Floor _____ 2nd Floor _____ 3rd Floor _____

Valuation (Including Labor) _____

Garage _____ Porch _____ Deck _____ Other _____

I acknowledge that this application is complete and accurate, that the work will be in conformance with Local and State Codes, and that work will not start until this permit has been reviewed and approved. I understand that answering 'Yes' will be treated in the same manner as a handwritten signature, for the purpose of validity, enforceability, and admissibility. Click the box if you agree Yes

Name of Contractor or Authorized Agent _____ **Date** _____

NOTICE: This is an application only. Permit will be issued after city approval and payment of fees.

OFFICE USE ONLY	Permit Number	FEE TYPE	AMOUNT
Zoning _____	_____	Contractor's License	_____
Occupancy _____	_____	Building Permit	_____
Type of Construction _____	_____	Plan Review	_____
# Of Stories _____	_____	Surcharge	_____
Bedroom / Dwelling Units _____	_____	Sprinkler / Alarm Permit	_____
Max Occupancy Load _____	_____	Misc. Permits (Sign, Fence)	_____
Sprinklered _____	_____	MCWS SAC Charge	_____
Application Accepted By _____	_____	Sewer Connection Fee	_____
License Number _____	_____	Water Connection Fee	_____
Building Approval _____	_____	Water Treatment Fee	_____
Planning Approval _____	_____	Meter & Reader Sale	_____
Engineering Approval _____	_____	Tax on Meter & Reader	_____
Fire Marshal Approval _____	_____	B-Line Sewer Connection	_____
Approved to Issue By _____	_____	Park Dedication Fees	_____
Date Approved _____	_____	Eagan Utility Connections	_____
SPECIAL CONDITIONS		Other Forms & Fees	_____
_____		TOTAL FEE	_____
_____		Receipt # _____	Date Paid _____
